

COASTAL VIRGINIA COMMUNITY RATING SYSTEM WORKGROUP



WORKING TOGETHER FOR A STRONGER VIRGINIA

CFM POLL

**Please fill out each poll to receive
the full 1.5 (or more!) CECs**



UPDATES/ANNOUNCEMENTS

Workgroup Meeting Introductions

Future Meeting Dates (James Room & Zoom)

2023

Wednesday, July 26, 10AM-Noon

Wednesday, September 27, 10AM-Noon

Wednesday, November 29, 10AM-Noon



UPDATES/ANNOUNCEMENTS

Confirmed CFM CECs (expect 1.5 most meetings)

July 2022 - 1 credit

September 2022 - 1 credit

November 2022 - 2 credits

January 2023 - 1.5 credits

April 2023 - 1.5 credits



VA FLOODPLAIN MANAGEMENT ASSOCIATION



Individual Memberships (\$25.00)

- Networking Opportunities
- Training and Workshops
- Membership Directory
- Quarterly Newsletters

Corporate Memberships (\$150.00)

- Same access as Individual Members
- Includes 7 members (1 membership free – \$25 discount)
- Company logo on the VFMA website

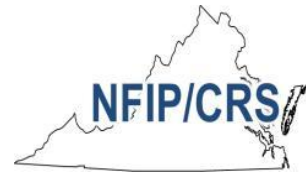


ISO VIRGINIA REPRESENTATIVE

Emily Schmidt

ISO/CRS Specialist

emily.schmidt@verisk.com



Coastal VA CRS Workgroup
May 31, 2023

LOCALITY SUCCESSES & LESSONS LEARNED PRESENTATION

Tom Brockenbrough, Floodplain Administrator,
Accomack County

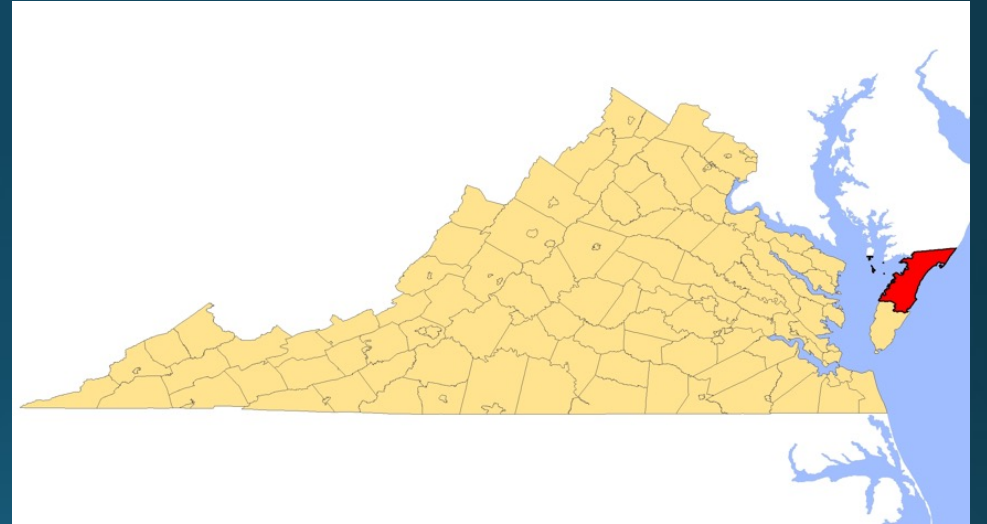


Accomack County

CRS Cycle Visit

Accomack County

- Northern of 2 Virginia Delmarva Counties
- County and 14 Incorporated Towns
- Review for only the unincorporated portion of Accomack County
- 103,528 Acres in the Special Flood Hazard Area in unincorporated portion of the County (excludes Federal lands)



Prior Cycle Visit – September 2015

- 2013 Manual
- 2,054 Points
- Class 6 – As of May 2018

This Cycle Visit – September 2021

- 2017 Manual
- 2021 Addendum
- Goal – Stronger Class 6

Timeline 2021 Cycle Visit (Part 1)

Early 2021 – Preliminary Communications about Cycle Visit



April 2021 – Kickoff Meeting



CRS Crosswalk

Community:	Accomack County, VA	Visit Date:	September 20, 2021
NFIP Number:	510001	CRS Class:	6***
Repetitive Loss:	Category B / 42	CRS Points:	2,054
Comm Growth Rate:	1.06 (2020)	BCEGS:	99/4 (2017)
Effective Manual:	2017 w/2021 Addendum		

During the last CRS verification visit, Accomack County received credit for the CRS activities listed below. Please have the documentation listed below each activity submitted ahead of our meeting in order to support your continued implementation of each activity. You are encouraged to submit ready documentation ahead of the meeting.

*****IMPORTANT NOTICE*****

New Class 9 and Class 8 prerequisites effective January 1, 2021

September 20, 2021 – Cycle Visit (memo), 30 Day Letter

Activity 420 - Open Space Preservation:

- For **Open Space Preservation (OSP)** credit, provide the following:
 - o parcel/inventory lists for the OSP (RPA, State/Local Lands, and The Nature Conservancy/Conservation Fund) and LZ submittals, preferably in Excel, that has the minimum requirements; described in the 2017 CRS Coordinator's Manual, p. 420-11, Section (1)(a).
- For **Natural Functions Open Space (NFOS1)** credit, provide for each creditable parcel documentation that supports credit under NFOS1 and any additional credit requested. The document must describe the natural floodplain functions of the parcel.
 - o A map that identifies which parcels also qualify for NFOS1 credit;
 - o Parcel/inventory list for the NFOS1 submittals, preferably in Excel;
 - o Provide a memo, letter or form signed by a professional in a natural science such as botany, biology, forestry, or landscape architecture stating that these areas are preserved as natural and beneficial areas.
- For **Natural Functions Open Space (NFOS3)** credit, provide for each creditable parcel documentation that supports credit under NFOS3. The document must describe the natural floodplain functions of the parcel.
 - o A map that identifies which NFOS1 parcels also qualify for NFOS3 credit;
 - o Parcel/inventory list for the NFOS3 submittals, preferably in Excel;
 - o Provide documentation regarding the endangered/threatened species.

Activity 430 - Higher Regulatory Standards:

- For **BC2** credit, provide an update regarding your BCEGS inspection and results.
 - o **Class 6 Prerequisite:**
The community must have a recent BCEGS rating of 5/5 or better.
- For **LDP3** credit, provide evidence of enforcement of positive drainage away from the structure.
- For **RA5** credit, provide a memo explaining your primary and secondary (off-site) record storage methods.

Activity 501 - Repetitive Loss (Program Requirement):

- Your community has 42 Repetitive Loss properties. Provide the following:
 - o Submit additional maps of your Repetitive Loss areas, showing the parcel boundaries and structures. Do not indicate which are the individual Repetitive Loss properties; only show the Repetitive Loss areas and each of the properties within the area (RL properties and their neighbors suffering from similar cause/risk of flooding).
 - o Confirm that your Rep Loss Update Forms (previously called AW501s) have been submitted directly to FEMA at NFIPLUnderwritingMailbox@fema.dhs.gov

Activity 530 Flood Protection - (Potential New Credit):

- For each project for which credit is requested, provide the following:
 - o For Elevation Projects – submit copies of the Elevation Certificate for each elevated building;
 - o A map showing the location of all protected buildings for which credit is being requested;
 - o Documentation of implementation date for each project,
 - A completed CC-530EHP for each project implemented after April 1, 2013;
 - A list of addresses or project areas requiring a CC-530-EHP.

Tips for a successful submittal:

The CRS Coordinator's Manual is an essential tool in developing a successful CRS submission. Please download the current version of this Manual from the following website: www.CRSResources.org

Be sure to check both the credit criteria and the documentation sections to ensure credit applied for is applicable. Checking these sections will save valuable time and will result in a more successful submission.

Submit only pertinent sections of documentation needed for review. Files submitted should be in an electronic (pdf) format with folders organized by activity number (310, 320, 330, 340, etc.) and files labeled with the element acronym (EC, ECFPO, ECFPR).

Please do not insert folders inside of folders or provide read only or protected documents as the Specialist needs to mark up each pdf file to show where credit is awarded. To facilitate the storage of documentation, certain characters should not be used when naming files: ~ " # % & * : < > ? ? / \ { | }

Select activities require a technical review checklist (450, 510, 600 series). The checklist helps the technical reviewer quickly determine if credit is applicable. Please remember to completely fill in the Activity Checklists and indicate for each element where to find the corresponding documentation (chapter, section number, page number, etc.). All incomplete checklists will be sent back for completion. Completing the checklist can also help the community determine appropriate documentation to provide.

Reminders:

All letters or written descriptions requested should be on Community letterhead and signed by appropriate staff.

Map note: All maps produced for CRS Activities must include at least the following basic information; map title, regulatory floodplain with acreage, street names, parcels, and map date.

Please submit documentation in digital format. Submit the material on a USB drive and mailed to the Specialist (address provided at your request) or through other digital file transfer

programs such as, an FTP site, Dropbox or similar, or emailed. Please check to see if we can access online programs first. Your digital material should be separated by activity and in PDF format with the exception of spreadsheets. Those can be submitted in Excel.

*****REMINDER*****
New Class 9 and Class 8 prerequisites effective January 1, 2021
Visit www.CRSResources.org for more information

CLASS 9 Prerequisite-

The community must:

- (a) Maintain all required floodplain-related construction certificates as described in Section 301.b for all buildings constructed, substantially improved, and/or reconstructed due to substantial damage in the Special Flood Hazard Area (SFHA) after the community applies for CRS credit.
- (b) Achieve 90% accuracy on its floodplain-related construction certificates during its annual review. This is explained in Section 301.e.
- (c) Receive credit for construction certificate management procedures (element CCMF) under Activity 310 (Elevation Certificates).

CLASS 8 Prerequisite-

- (1) The community must meet all the Class 9 prerequisites.
- (2) The community must **adopt and enforce** at least a 1-foot **freeboard requirement** (including machinery or equipment) for all residential buildings constructed, substantially improved, and/or reconstructed due to substantial damage throughout its SFHA where base flood elevations have been determined on its currently effective FIRM or in its Flood Insurance Study (FIS), except those areas that receive open space credit under Activity 420 (Open Space Preservation).

CLASS 6 Prerequisite-

- (1) The community must meet all the Class 8 prerequisites.
- (2) The community must have a recent BCEGS rating of 5/5 or better
- (3) The community must be credited with 2,000+ points to warrant the Class 6 rating

If you have any questions regarding any of the above activities or if you find you would like to apply for any additional credit, please let me know. The above documentation must be returned to me no later than **Thursday, October 21, 2021**. It was a pleasure working with you and if you have any questions, or if I can be of any assistance, please do not hesitate to contact me at (404) 615-6762 or by e-mail at Emily.Schmidt@vensk.com.

Sincerely,
Emily Schmidt, CFM
ISO/CRS Specialist

cc: Michael Mason, Accomack County Administrator

Please send correspondence to: Emily Schmidt • 585 Branigan Court • Union City, CA 90291 • (404) 615-6762

NFIP# 510001

September 21, 2021

Tom Brokenbrough, CFM
Accomack County GIS Coordinator, Floodplain Administrator
Department of Building, Planning, and Economic Development
P.O. Box 93 / 23296 Courthouse Avenue
Accomac, Virginia 23301

Dear Mr. Brokenbrough:

This is a follow-up to my remote verification visit with you yesterday on September 20, 2021. As we discussed during our visit, certain activities require additional documentation or revision to verify the credit your community has requested. This additional documentation must be submitted on or before **Thursday, October 21, 2021**.

Activity 330 - Outreach Projects:

- For **OP** credit, provide copies of all outreach projects that are conducted annually as part of the CRS program.
 - o Submit the revised Rep Loss Letter with Quarterly Notification and OP Topic 6 language.
 - o Submit the Flyer with OP Topics 1-6 action statement language.
 - o Submit the addresses of the 5 buildings where the flyer is distributed.
 - o Submit a memo explaining the twice/year Public Safety Presentations (and the audiences), including using the Flyer as a Handout. If you have pictures from prior presentations, please include.

Activity 340 - Hazard Disclosure (Potential New Credit):

- For **REB** credit, provide the brochure or handout provided to local real estate agents that advise potential buyers to investigate the flood hazard for a property.

Activity 370 - Flood Insurance Promotion (Potential New Credit):

- For **Flood Insurance Coverage Assessment (FIA)**, please submit the assessment document that follows the 5 steps outlined in the CRS Manual.

Uh, Oh Moment

- Most recent BCEGS score from 2017: 99/4
- Does not meet 5/5 Prerequisite for a Class 6 Community
- Appears the best will be to drop back to a Class 7 Community with a possible mid-Cycle review
- ISO had been attempting to schedule a new review with Building Official for an updated review

310 – Elevation Certificates

- 38 out of 38 Points, CCMP
- 2021 Addendum
- Change from 2015 Visit: +8

Flood Construction Certificate Management Procedures

Accomack County

Original May 19, 2021

Updated July 29, 2021 (to incorporate VA USBC changes on foundation inspection)

The Accomack County Department of Building, Planning, & Economic Development is responsible for the administration of all development issues within the unincorporated portion of Accomack County including permitting, inspection, and review of all construction, along with the creation of and maintenance of all building permit files and administrative documents (ordinances, building guides, applications, forms, outreach materials, etc.) related to building and development with the exception of stormwater, erosion and sediment control, wetlands, and the Chesapeake/Atlantic Preservation Area Overlay District provisions of the Accomack County Zoning Ordinance, which come under the responsibility of the Accomack County Department of Environmental Programs. All inspections and permit/plan reviews are conducted by the Accomack County Department of Building, Planning, and Economic Development and the Department of Environmental Programs as well as all permit approvals.

The Department of Environmental Programs is further responsible for permitting, and inspection files with respect to stormwater, erosion and sediment control, and wetlands in both the unincorporated and incorporated portions of Accomack County. The Department of Building, Planning, and Economic Development is responsible for issuing building permits, conducting inspections, maintaining building files for all construction projects in all incorporated towns, with the exception of the Town of Chincoteague, but is not responsible for zoning approval, ordinances, etc. of those remaining 13 incorporated towns.

The purpose of this document is to explain the County's management procedures for review of Elevation Certificates and all other required floodplain-related construction certificates including, but not limited to, Floodproofing Certificates, V Zone design certificates and engineered flood opening certificates. These procedures outline the types of certificates required, the collection and review of all certificates, how corrections should be made, where the certificates are stored/archived, and how we make these certificates available to the public.

TYPES OF CERTIFICATES REQUIRED

When any new construction, substantial improvement or repair for a substantially damaged building is conducted in the Special Flood Hazard Area (SFHA), the Department of Building, Planning, & Economic Development shall require an Elevation Certificate and any other floodplain-related certificate that is appropriate (Floodproofing Certificate for Non-Residential Structures, Residential Basement Floodproofing Certificate, V Zone design certificate for projects in a VE or Coastal A Zones, and certification of engineered flood openings, etc.) for the development.

WHEN CERTIFICATES ARE REQUIRED

The applicant shall submit an Elevation Certificate based on construction drawings with the building permit application in those instances when a valid Certificate for the existing structure is not already

on file with the Department of Building, Planning and Economic Development. An example of a Certificate that may not be useable could be in the instance where a new Flood Insurance Rate Map for the project area was issued since the Certificate was originally issued and the new boundary is too close to an existing structure to adequately determine if the structure continues to be in a Special Flood Hazard Area or to determine the appropriate Base Flood Elevation.

The Elevation Certificate is required three times during the construction process. In the first instance the Elevation Certificate shall be used to determine if the proposed design is in compliance with Article XV of the Accomack County Zoning Ordinance and the Virginia Uniform Statewide Building Code prior to the permit being issued. The second instance will be prior to foundation inspection to ensure the structure is properly elevated. Once construction on the building is finished and all adjacent grading is finalized, a complete and correct Elevation Certificate based on Finished Construction must be submitted by the applicant to show the "as-built" characteristics of the building. A Finished Construction Elevation Certificate must be received, reviewed, and corrected (if necessary) prior to the final inspection and the issuance of a Certificate of Occupancy or Completion. At this point, all other required certificates must also be submitted and reviewed.

If a Floodproofing Certificate for Non-Residential Structures is required for a floodproofed non-residential building, an Elevation Certificate is not required for purposes of the National Flood Insurance Program (NFIP), but the County will require one to help verify compliance with Article XV of the Accomack County Zoning Ordinance. A complete and correct Floodproofing Certificate is required to be submitted to the Department of Building, Planning, and Economic Development once construction is finished on the building but before issuing a certificate of occupancy or completion.

A Residential Basement Floodproofing Certificate is required for a building with a basement that is floodproofed. An Elevation Certificate is also required to help verify compliance with Article XV of the Accomack County Zoning Ordinance as well as standards of the Uniform Statewide Building Code. A complete and correct Residential Basement Floodproofing Certificate is required to be submitted to the Department of Building, Planning, and Economic Development once construction is finished on the building but before the final inspection and issuance of a certificate of occupancy.

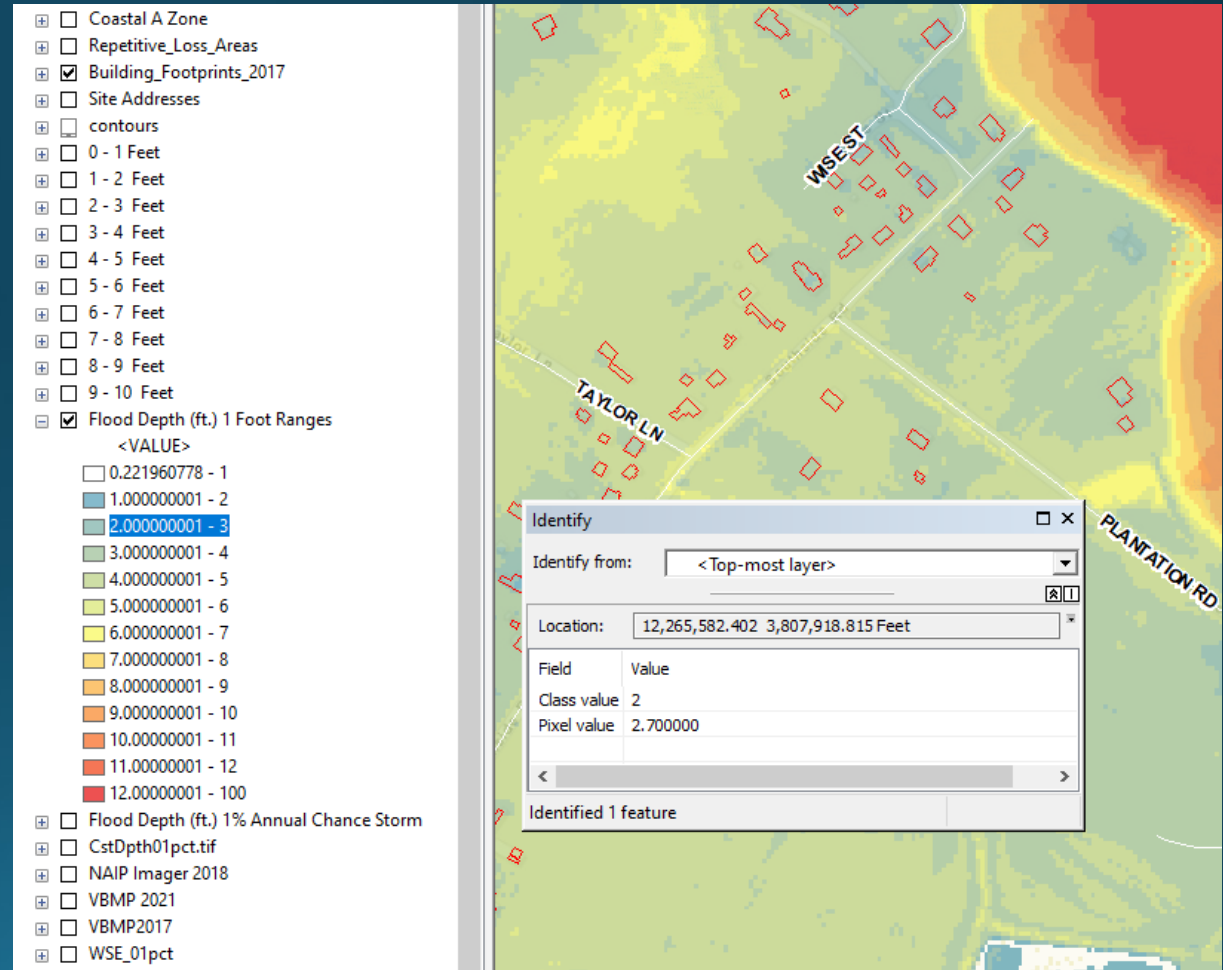
A V Zone Design Certificate is required for all new construction and substantial improvement/substantial damage within an identified Coastal A Zone or V Zone on the Flood Insurance Rate Map. The V Zone Design Certificate is required before granting the initial building permit because it certifies the structural design and the proposed methods of construction for the building. A complete and correct Elevation Certificate based on Finished Construction is also required once construction is finished on the building. At a minimum, all permit files should contain both the pre-construction V Zone Design Certificate and the finished-construction Elevation Certificate for all new construction and substantial improvement/substantial damage in the Coastal A and V Zones.

When engineered flood openings are installed in the foundation of a building, and the Elevation Certificate indicates that they were installed (Sections A8d and A9d on the Elevation Certificate), an engineered opening certification is required to be submitted with the Elevation Certificate to help verify compliance and the insurance rate. This certification is either the International Code Council® Evaluation Service (ICC-ES) form for the engineered opening or an individual certification. Individual certifications must cover the following, at a minimum:

- 1) An identification of the building (address) that has the engineered openings installed;

320 – Map Information Service

- go out of 90 Points (cap)
- Had information in each of 7 credited categories, MI1-MI7
- Required annual publicity, log, verification letters
- Change from 2015 Visit: 0



330 – Outreach Projects

- 200 out of 350 Points, OP
- Quarterly Mailing to Repetitive Loss Properties
- Flyer in 5 Locations
- Public Safety Presentations
- Change from 2015 Visit: **+54**

COUNTY OF ACCOMACK
BUILDING, PLANNING & ECONOMIC DEVELOPMENT

23296 Courthouse Ave – Room 105 | P.O. Box 93 | Accomack, Virginia 23301
(757) 787-5726 | planning@co.accomack.va.us
(757) 787-5721 | building@co.accomack.va.us
www.co.accomack.va.us

Building & Code Enforcement
Planning & Zoning
Geographic Information & Mapping

Floodplain Management
Economic Development
Wallops Research Park

November 5, 2021

Flood Damage Prevention Notice

While your home may not have flooded, you have received this mailing because you own property in an area of Accomack County that has experienced repetitive flooding. This is a quarterly mailing Accomack County sends to property owners in repetitive loss areas.

Accomack County, Virginia has initiated a floodplain management program to help reduce the damages caused by flooding. Part of that program is to identify areas where properties have sustained flood damage more than once over the last 20 years and to notify property owners in those areas of steps that can be taken to reduce the impact of flooding.

Flood Insurance: If you don't have flood insurance, talk to your insurance agent. Homeowner's insurance policies do not cover damage from floods. However, because Accomack County participates in the National Flood Insurance Program, you can purchase a separate flood insurance policy. Some people have purchased flood insurance policies because it was required by the bank when they got a mortgage. Usually, these policies only cover the building's structure and not the contents. Flooding in Accomack County often causes more damage to furniture and contents than to the building structure. Ask your insurance agent about contents coverage for your flood insurance policy.

There is a 30 day waiting period for flood insurance to take effect, so it is important not to wait until a storm is approaching to purchase insurance. Contact your insurance agent for more information on rates and coverage. Flood insurance is not available in areas that have been designated as undeveloped coastal barrier islands, such as Cedar Island.

What You Can Do: There are steps you can take to protect your property from flood damage.

- If you have experienced repetitive flooding, you may want to consider raising your home above the expected flood levels. The Accomack Northampton Planning District Commission coordinates grant assistance for property owners with flood insurance that wish to have their structures raised. For more information contact them at 757.787.2800 extension 118.

(over)

Are You Prepared For A Flood In Your Neighborhood?

Accomack County is working on ways to improve and increase its circulation of and accessibility to information that pertains to the floodplain, in an effort to better educate and assist its citizens about developing and living in the floodplain. Please take the time to read the information below, and if you have further questions, or would like additional information, a variety of contact information has been supplied as part of this document.

Overview

Due to Accomack County's location between the Chesapeake Bay and the Atlantic Ocean, as well as having several tidal creeks and rivers, the area is subject to several types of flooding from hurricanes, nor'easters and even seasonal high tides. With the relatively flat topography of large areas in Accomack, intense rainfall events over largely flat terrain may overwhelm the ability of the drainage system of an area to adequately carry water away from a site. Strong winds and seasonal high tides can cause flooding in low lying areas even on days when there is no rain. Sea-level high water tables just below the surface ground can impede the ability of rain to infiltrate already saturated soils.

Know Your Flood Hazard

While some localized flooding somewhere in Accomack County regularly, the largest storm events tend to be from hurricanes and tropical storms between August and October, and tropical flooding events between September and April. Among more recent flooding events Hurricane Floyd in 1999 brought 10 - 20 inches of rain to the area along with a 7 foot storm surge. Tropical Storm Ernesto in 2006 brought tides 4 - 5 feet above normal and waves of 6 - 8 feet resulting in over \$37 mil-

Prepare for flooding by doing the following:

- Know how to shut off the gas supply.
- Make a list of emergency contacts.
- Make a household inventory.
- Put insurance policies in a safe place.
- Collect and put clean up supplies in a safe place.
- Develop a disaster preparedness plan.
- Get a copy of Repa website.
- Register for Accomack County related alerts.

Information on flood hazard information abc
Department of Building
757-824-5324 for assistance
www.ready.gov/flood
<https://www.co.accomack.development/flood>

You may also view parcel information completed flood to locate, view, <https://www.co.accomack.development/>

340 – Hazard Disclosure

- 13 out of 80 Points
- ODR and **REB** credit
- Change from 2015 Visit: **+8**

Flood Hazards: Check Before You Buy

Most everyone knows that coastal properties are subject to flooding and wind damage from hurricanes. There are maps that show areas predicted to flood. To find out more about flood-prone area maps, check with The Accomack County Department of Building, Planning, and Economic Development at 757.787.5797. However, flooding and other surface drainage problems can occur well away from the coast. If you're looking at a property, it's a good idea to check out the possible flood hazard before you buy. Here's why:

- The force of moving water or waves can destroy a building.
- Even standing water can knock people off their feet or float a car.
- Water-soaked contents, such as carpeting, clothing, upholstered furniture, and mattresses, may have to be thrown away after a flood.
- Some items, such as photographs and heirlooms, may never be restored to their original condition.
- Floodwaters are not clean. Floods carry mud, farm chemicals, road oil, and other noxious substances that cause health hazards.
- Flooded buildings breed mold and other problems if they are not repaired quickly and properly.
- The impact of a flood—cleaning up, making repairs, and the personal losses—can cause great stress to you, your family, and your finances.

Floodplain Regulations:

Accomack County regulates construction and development in the floodplain in most of Accomack to ensure that buildings will be protected from flood damage. Filling and similar projects are prohibited in certain areas. Houses substantially damaged by fire, flood, or any other cause must be elevated to or above the regulatory flood level when they are repaired. More information can be obtained from the Accomack County Department of Building, Planning and Economic Development at 757.787.5797.

Check for a Flood Hazard:

Before you commit yourself to buying property, do the following:

- Ask the Accomack County Department of Building, Planning and Economic Development at 757.787.5797 if the property is in a floodplain, if it has ever been flooded, what the flood depth, and warning time are, if it is subject to any other hazards, and what building or zoning regulations may be in effect.
- Ask the real estate agent if the property is in a floodplain, if it has ever been flooded, and if it is subject to any other hazards, such as sewer backup or subsidence.
- Ask the seller and the neighbors if the property is in a floodplain, how long they have lived there, if the property has ever been flooded, and if it is subject to any other hazards.

Flood Protection:

A building can be protected from most flood hazards, sometimes at a relatively low cost. New buildings and additions can be elevated above flood levels. Existing buildings can be protected from shallow floodwaters by regrading, berms, or floodwalls. There are other retrofitting techniques that can protect a building from surface or subsurface water.

Flood Insurance:

Homeowners insurance usually does not include coverage for a flood. One of the best protection measures for a building with a flood problem is a flood insurance policy under the National Flood Insurance Program, which can be purchased through any licensed property insurance agent. If the building is located in a floodplain, flood insurance will be required by most federally backed mortgage lenders. Ask an insurance agent how much a flood insurance policy would cost.

19000968.002

LEGEND

- FIVE SET
- PROPOSED CLASS DCA WELL AREA 197X7
- PROPOSED RESERVE DRAINFIELD
- PROPOSED PRIMARY DRAINFIELD

ODR

OWNER HAS NO INTENTION OF FURTHER SUBDIVISION OF THE RESIDUAL PARCEL.

GENERAL NOTES:

1. OWNER: MICHELLE DENTON BLAKE
2. TAX PARCEL: 1800480001500 (PART OF)
3. SOURCE OF TITLE: INST #20034672
4. A SURVEY WAS PERFORMED ON THIS PROPERTY IN SEPTEMBER 2008 WITH A BOUNDARY CLOSURE WHOSE PRECISION EXCEEDED 1:10,000.
5. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY NOT SHOW WRITING EASEMENTS OR RESTRICTIONS THAT MAY AFFECT SAID PROPERTY AS SHOWN OR WITHIN. ENVIRONMENTAL HAZARDS, CONTAMINATION, UNDESIRABLE STRUCTURES NOT OBSERVED DURING THE COURSE OF THE SURVEY.
6. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 803-11001000-A SUBDIVISION, DATED 01-18-15, THE PROPERTY SHOWN HEREON LIES IN FLOOD ZONE X-1 FLOOD ZONE CATIONATION IS BASED ON THE FLOOD INSURANCE RATE MAP AND DOES NOT IMPLY THAT THIS PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING OR DAMAGE. FLOOD ZONE INFORMATION SHOWN HEREON IS NOT GUARANTEED AND WAS APPROXIMATELY SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS. FOR FURTHER INFORMATION AND TO CONFIRM THE FLOOD ZONE FOR THIS PROPERTY, CONTACT THE LOCAL COMMUNITY FLOOD OFFICIAL.
7. PLAT REFERENCES: A. S. B. # 158 (INST. 200119195 (PLAT))
8. PROPOSED WELLS AND SEPTIC LOCATIONS FOR CERTIFICATION LETTERS PROVIDED BY SAVAGE DENTIS DENTIST.
9. ZONING: RESIDENTIAL
10. BUILDING SETBACK REQUIREMENTS: FRONT: 30' SIDE: 30' REAR: 30'
11. AREA OF SUBDIVISION EQUALS 3.474 ACRES.

SUBDIVISION
PART OF PROPERTY OF MICHELLE DENTON BLAKE
CREATING LOTS 1 THRU 7
LOCATED NEAR PUNGOTEAQUE DISTRICT ACCOMACK COUNTY, VIRGINIA
DECEMBER 20, 2018
REVISED: FEBRUARY 5, 2019

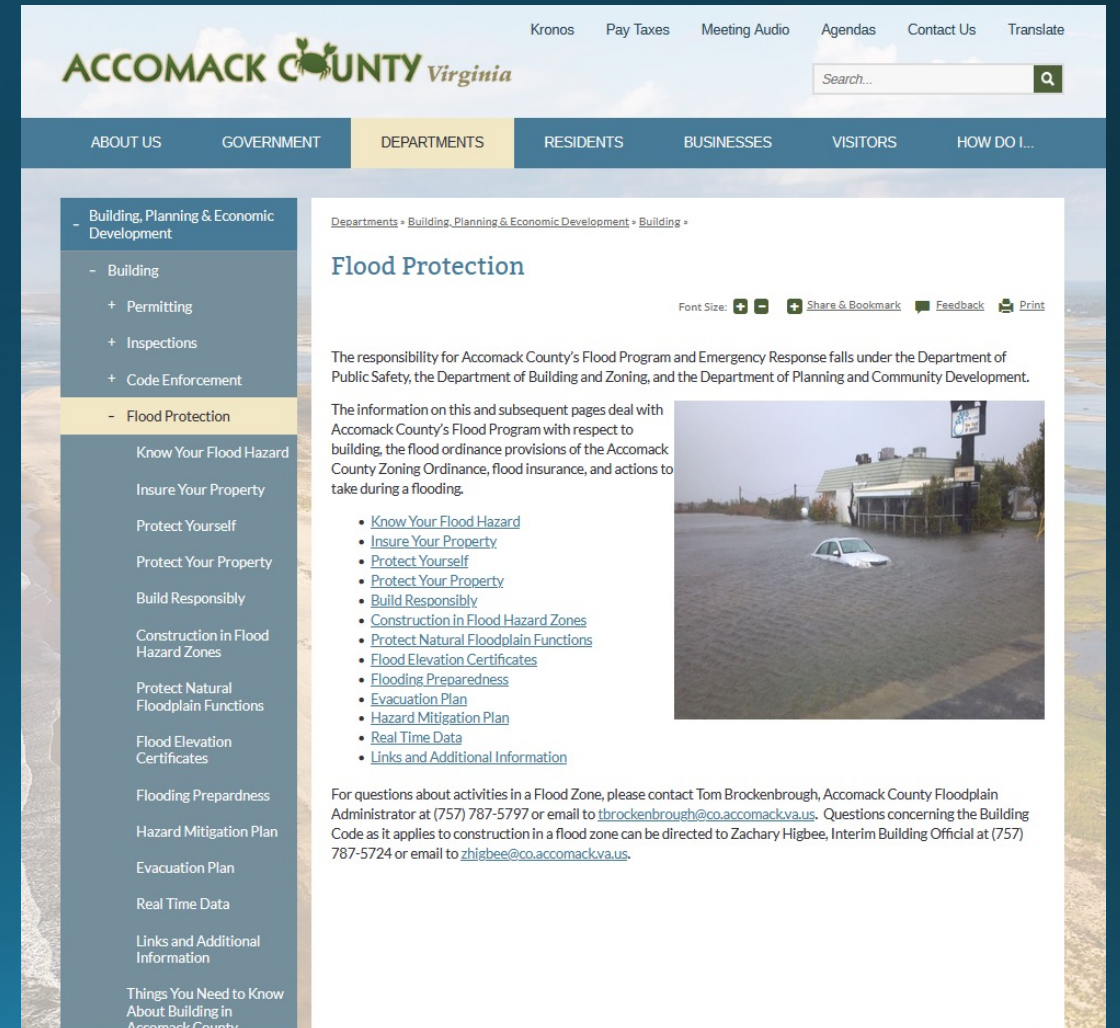
ACCOMACK-NORTHAMPTON SURVEYING & MAPPING PLLC
30204 Landon Highway, Belle Haven, Virginia 22824
Mail Address: 11403 Heron Drive, Markham, Virginia 22080
Phone: (703) 704-1192

OWNER: MICHELLE DENTON BLAKE
DATE: 2/18/19
DRAWN BY: JAMES T. SCALE
CHECKED BY: JAMES T. SCALE
FIELD BOOK: B0176L

Curve	Radius	Tangent	Length	Delta	Degree	Chord	Chord Bear.
CD	2000.00	377.88	785.29	172.59	9°11'57"	705.29	W 270°10'17" N
CD	3000.00	166.09	272.69	6°24'37"	1°11'57"	272.29	W 273°37'54" N
CD	2000.00	377.88	785.29	172.59	9°11'57"	705.29	W 270°10'17" N
CD	3000.00	166.09	272.69	6°24'37"	1°11'57"	272.29	W 273°37'54" N
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CD	3000.00	166.09	272.69	6°24'37"	1°11'57"	2	

350 – Flood Protection Information

- 84 out of 97 Points
- LIB, LPD, WEB₁, WEB₂, WEB₃
- Change from 2015 Visit:
-2



The screenshot displays the Accomack County Virginia website. The header includes the county logo and navigation links for Kronos, Pay Taxes, Meeting Audio, Agendas, Contact Us, and Translate. A search bar is located in the top right. The main navigation menu includes ABOUT US, GOVERNMENT, DEPARTMENTS (highlighted), RESIDENTS, BUSINESSES, VISITORS, and HOW DO I... The left sidebar shows a tree view under Building, Planning & Economic Development, with 'Flood Protection' selected. The main content area is titled 'Flood Protection' and includes a breadcrumb trail: Departments > Building, Planning & Economic Development > Building > Flood Protection. Below the title are font size controls and social sharing options. The text explains that the Flood Program and Emergency Response fall under the Department of Public Safety, Building and Zoning, and Planning and Community Development. It also states that the information on this page deals with building, flood ordinance provisions, zoning ordinance, flood insurance, and actions during a flooding. A list of links is provided, including Know Your Flood Hazard, Insure Your Property, Protect Yourself, Protect Your Property, Build Responsibly, Construction in Flood Hazard Zones, Protect Natural Floodplain Functions, Flood Elevation Certificates, Flooding Preparedness, Hazard Mitigation Plan, Evacuation Plan, Real Time Data, and Links and Additional Information. A photograph shows a car partially submerged in floodwaters. At the bottom, contact information for Tom Brockenbrough, Floodplain Administrator, and Zachary Higbee, Interim Building Official, is provided.

ACCOMACK COUNTY Virginia

Kronos Pay Taxes Meeting Audio Agendas Contact Us Translate

Search...

ABOUT US GOVERNMENT DEPARTMENTS RESIDENTS BUSINESSES VISITORS HOW DO I...

Building, Planning & Economic Development

- Building
 - + Permitting
 - + Inspections
 - + Code Enforcement
- Flood Protection
 - Know Your Flood Hazard
 - Insure Your Property
 - Protect Yourself
 - Protect Your Property
 - Build Responsibly
 - Construction in Flood Hazard Zones
 - Protect Natural Floodplain Functions
 - Flood Elevation Certificates
 - Flooding Preparedness
 - Hazard Mitigation Plan
 - Evacuation Plan
 - Real Time Data
 - Links and Additional Information
 - Things You Need to Know About Building in Accomack County

Departments > Building, Planning & Economic Development > Building >

Flood Protection

Font Size: + - + Share & Bookmark Feedback Print

The responsibility for Accomack County's Flood Program and Emergency Response falls under the Department of Public Safety, the Department of Building and Zoning, and the Department of Planning and Community Development.

The information on this and subsequent pages deal with Accomack County's Flood Program with respect to building, the flood ordinance provisions of the Accomack County Zoning Ordinance, flood insurance, and actions to take during a flooding.

- [Know Your Flood Hazard](#)
- [Insure Your Property](#)
- [Protect Yourself](#)
- [Protect Your Property](#)
- [Build Responsibly](#)
- [Construction in Flood Hazard Zones](#)
- [Protect Natural Floodplain Functions](#)
- [Flood Elevation Certificates](#)
- [Flooding Preparedness](#)
- [Evacuation Plan](#)
- [Hazard Mitigation Plan](#)
- [Real Time Data](#)
- [Links and Additional Information](#)

For questions about activities in a Flood Zone, please contact Tom Brockenbrough, Accomack County Floodplain Administrator at (757) 787-5797 or email to tbrockenbrough@co.accomackva.us. Questions concerning the Building Code as it applies to construction in a flood zone can be directed to Zachary Higbee, Interim Building Official at (757) 787-5724 or email to zhigbee@co.accomackva.us.

420 – Open Space Preservation

- 1,242 out of 2,020 Points*
- 71% of SFHA Open Space (73,500 Acres)
- Received OSP Credit, in addition to NFOS₁, NFOS₃, & LZ
- Worked with ISO and Wetlands Watch on RPA
- Change from 2015 Visit: +10*

Commonwealth of Virginia Resource Protection Areas (RPAs) and 420 OSP Credit

January 8, 2020

BACKGROUND & EXPLANATION OF RPAs:

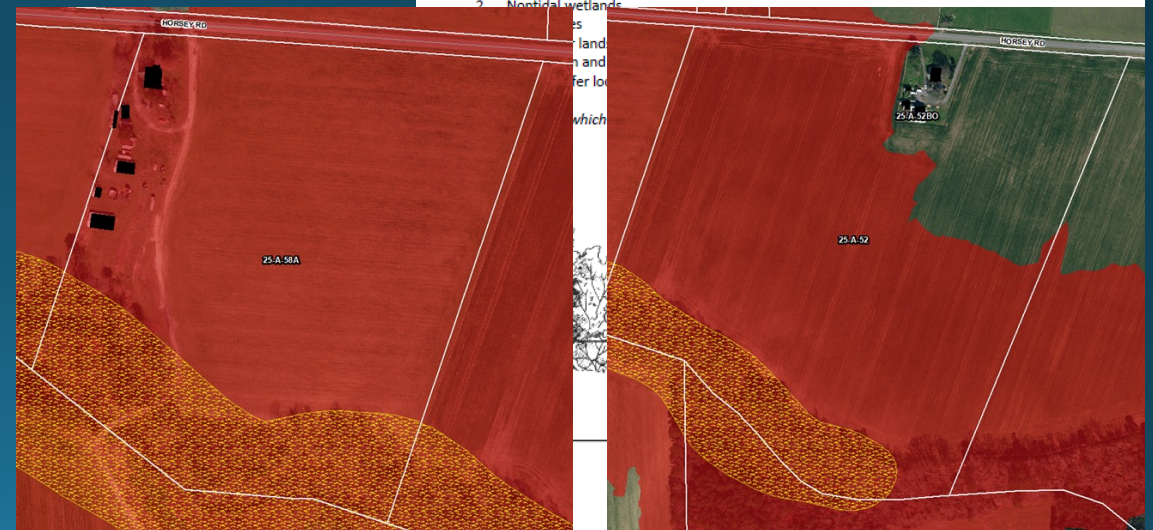
Title 62.1, Chapter 3.1, Article 2.5, Section 62.1-44.15:67 through 79 is the Chesapeake Bay Preservation Act (state law, Code of Virginia) which sets forth the requirement for communities in the Chesapeake

2. Based purely on State Law, the community is to remove all the following areas from their RPAs for CRS credit:
 - A. Intensely Developed Areas (IDAs)
 - B. The entire lot that currently has development (buildings) on it.

Chesapeake Bay Preservation Act. Most communities adopt ordinances that mirror the requirements stated in the state code and corresponding regulation. Local governments enforce the ordinance, with support and evaluation from the state.

Virginia Administrative Code, Title 9, Agency 25, Chapter 830, Section 80 creates and defines the Resource Protection Areas (RPAs) to be:

1. Tidal wetlands
2. Nontidal wetlands



420 – Open Space Preservation (continued)

- 1,242 of 2,870 Points*
- 71% of SFHA Open Space (73,500 Acres)
- Had to use alternative method for NFOS₃ (VADCR Natural Heritage Database <https://vanhde.org/species-search>)
- Change from 2015 Visit: +10*

DCR | Virginia Department of Conservation and Recreation

Home | Map | Species/Communities Search | Terms & Conditions | About Us | Contact Us | Help

NOTE: The results of this query should NOT be substituted for a detailed project review or for on-site surveys required for a project.

Attribute Search

Search | Reset | Print to PDF | Export as CSV

▼ Results

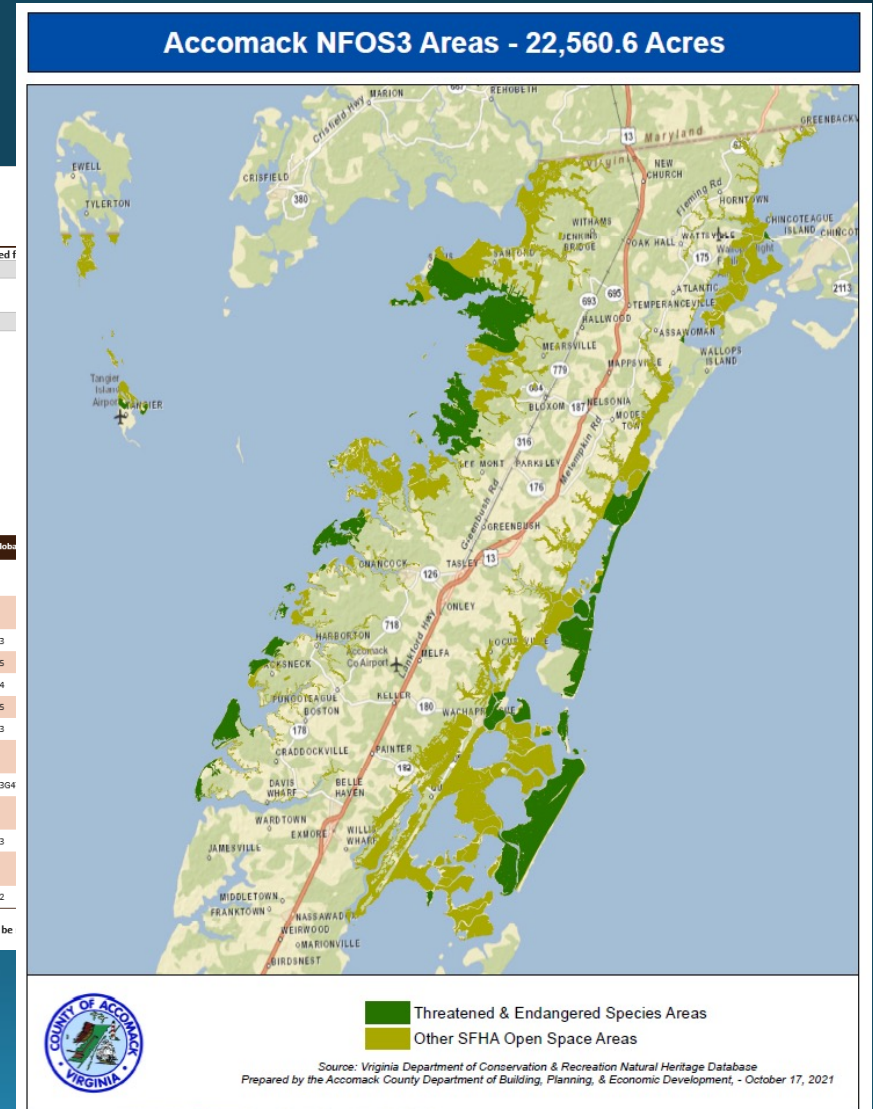
Your Criteria
 Federal Legal Status: LE - Listed endangered, IT - Listed threatened
 State Legal Status: LE - Listed endangered, IT - Listed threatened
 County: Accomack
 Search Run: 5/12/2023 11:06:26 AM

Result Summary
 Total Species returned: 8
 Total Communities returned: 0

Click scientific names below to go to NatureServe report.
 Click column headings for an explanation of species and community ranks.

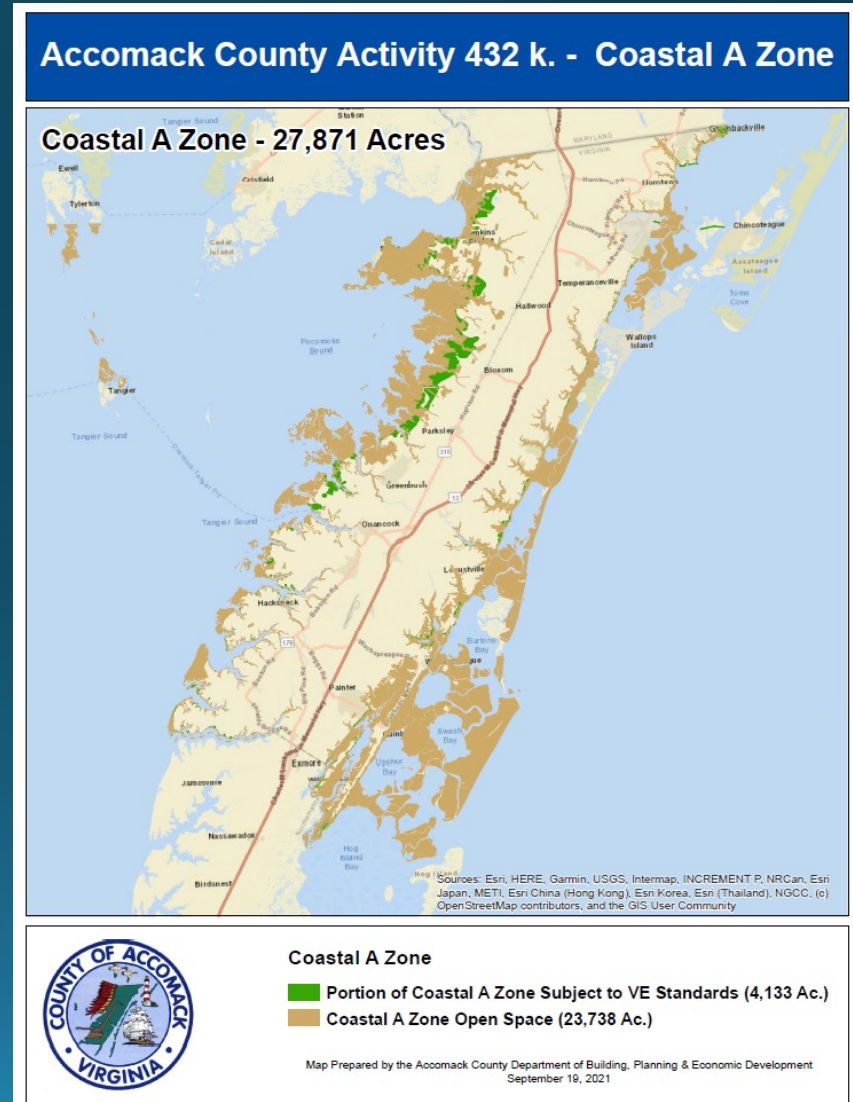
Common Name/Natural Community	Scientific Name	Scientific Name Linked	Global Rank
Accomack			
BIRDS			
Piping Plover	<i>Charadrius melodus</i>	Charadrius melodus	G3
Wilson's Plover	<i>Charadrius wilsonia</i>	Charadrius wilsonia	G5
Peregrine Falcon	<i>Falco peregrinus</i>	Falco peregrinus	G4
Gull-billed Tern	<i>Gelochelidon nilotica</i>	Gelochelidon nilotica	G5
Black Rail	<i>Laterallus jamaicensis</i>	Laterallus jamaicensis	G3
COLEOPTERA (BEETLES)			
Northeastern Beach Tiger Beetle	<i>Cicindela dorsalis dorsalis</i>	Cicindela dorsalis dorsalis	G304
REPTILES			
Loggerhead (Sea Turtle)	<i>Caretta caretta</i>	Caretta caretta	G3
VASCULAR PLANTS			
Sea-beach amaranth	<i>Amaranthus pumilus</i>	Amaranthus pumilus	G2

Note: On-line queries provide basic information from DCR's databases at the time of the request. They are NOT to be used for legal purposes.



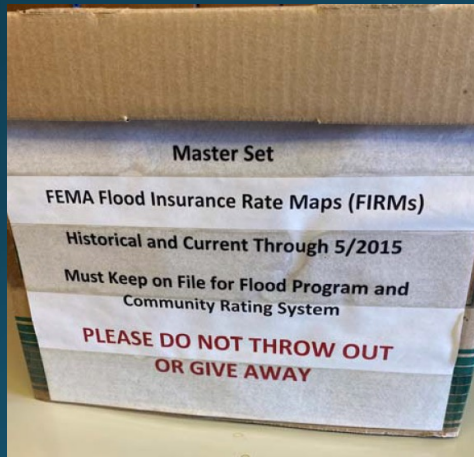
430 – Higher Regulatory Standards

- 406 out of 2,462 Points*
- Credit for FRB, BC₁, BC₂, LDP, MHP, CAZ, RA₁, RA₅
- Change from 2015 Visit: +266



440 – Flood Data Maintenance

- 170 out of 222 Points*
- AMD₁₋₁₃, FM
- Change from 2015 Visit:
+26



ADDRESS	STREET	LAGNAD83	LSFLOORAD83	FILENAME	LINK	SHA
37487	Sailors	3.5	14.6	Sailors Ct 37487_005A10100093000	https://www.co.accomack.va.us/Home/ShowDocument?id=13915	Point 5A1-
37467	SAILORS CT	3.62	14.94	Sailors Ct 37467 SA1-1-927	https://www.co.accomack.va.us/Home/ShowDocument?id=4023	Point 5A1-
37479	SAILORS CT	3.19	14.09	Sailors Ct 37479 SA1-1-929.pdf	https://www.co.accomack.va.us/Home/ShowDocument?id=4063	Point 5A1-
37473	SAILORS CT	2.3	14.5	Sailors Ct 37473 SA1-1-928.pdf	https://www.co.accomack.va.us/Home/ShowDocument?id=5623	Point 5A1-
37463	SAILORS CT	4.5	16.1	Sailors Ct 37463 SA1-1-926.pdf	https://www.co.accomack.va.us/Home/ShowDocument?id=12239	Point 5A1-

Table
FLOOD ELEVATION CERTIFICATES
(5 out of 850 Selected)
Site Addresses: FLOOD ELEVATION CERTIFICATES | Letter_of_Map_Amendment

510 – Floodplain Management Planning

- 181 out of 622 Points
- Change from 2015 Visit:
 -



**The Eastern Shore of Virginia
HAZARD MITIGATION PLAN 2016**

Eastern Shore Hazard Mitigation Steering Committee
Accomack-Northampton Planning District Commission

530 – Flood Protection (new)

- 32 Out of 1,600 Points
- TUE Credit for 51 Elevated Buildings
- Change from 2015 Visit: +32

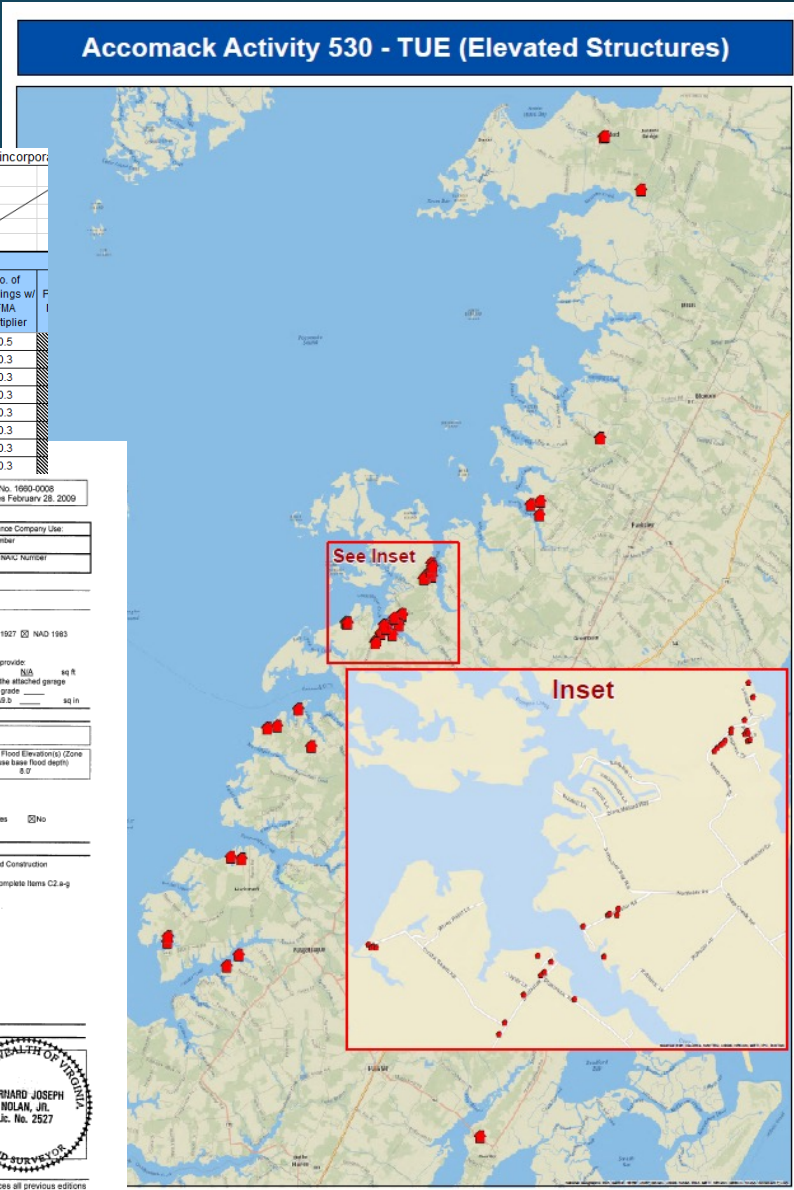


Community: Accomack Unincorporated

530 FLOOD PROTECTION CREDIT CALCULATION CHECKLIST

Number of buildings in the SFHA = bSF = _____ Scoring Option (1 or 2) 1

Bldg #	Address	FMA Grant?	530 FLOOD PROTECTION CREDIT CALCULATION CHECKLIST			Building Type	No. of Buildings	No. of Buildings w/ FMA Multiplier
			FPP Post-Project	FPB Pre-Project	FPI (FPP - FPB)			
1	22044 Southside Road Onancock	y				Rep Loss in SFHA	2	0.5
2	15143 Locust Street Onancock	y				Regular Building in SFHA	1	0.3
3	20237 Deep Creek Road Onancock	y				Regular Building in SFHA	1	0.3
4	16272 Crystal Beach Road Onancock	y				Regular Building in SFHA	1	0.3
5	20057 Quinby Bridge Road Onancock	y				Regular Building in SFHA	1	0.3
6	17397 Plantation Road Onancock	y				Regular Building in SFHA	1	0.3
7	17305 Wise Street Onancock	y				Regular Building in SFHA	1	0.3
8	24251 Thicket Point Lane Onancock	y				Regular Building in SFHA	1	0.3



U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

ELEVATION CERTIFICATE CMB No. 1660-0008 Expires February 28, 2009

Important: Read the instructions on pages 1-6.

SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name: David Johnson
 A2. Building Street Address (including Apt., Unit, Suite, or other designation) or P.O. Route and box no.: 22044 South Side Road
 City: Onancock State: VA ZIP Code: 23417
 A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.): Tax map #48-A-31
 A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): RESIDENTIAL
 A5. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.
 A6. For a building with a crawl space or enclosure(s), provide:
 a) Square footage of crawl space or enclosure(s): 563 sq ft
 b) No. of permitted floor openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade: 15
 c) Total net area of floor openings in AG: 2360 sq ft
 A7. For a building with an attached garage, provide:
 a) Square footage of attached garage: N/A sq ft
 b) No. of permitted floor openings in the attached garage walls within 1.0 foot above adjacent grade: 0
 c) Total net area of floor openings in AG: 0 sq ft

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. MFP Community Name & Community Number: ACCOMACK COUNTY 510001
 B2. County Name: Accomack County
 B3. State: VA
 B4. Map/Panel Number: 510001 0110
 B5. Suffix: E
 B6. FIRM Index Date: 6/1/1994
 B7. FIRM Panel Effective/Revised Date: 10/16/1996
 B8. Flood Zone(s): A6
 B9. Base Flood Elevation(s) (Zone A0, use base flood depth): 5/7

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in item B9:
 FIS Profile FIRM Community Determined Other (Describe) _____
 B11. Indicate elevation datum used for BFE in item B9: NAVD 1989 MGS 1989 Other (Describe) _____
 B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?
 Designation Date: _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.
 C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/A0. Complete items C2-a-g below according to the building category specified in item A7.
 Benchmark Used: BM Vertical Datum: NGVD D 29
 Conversion/Comments: _____
 Check the measurement used:
 a) Top of bottom floor (including basement, crawl space, or enclosure floor): 3.9 feet meters (Puerto Rico only)
 b) Top of the next higher floor: 10.0 feet meters (Puerto Rico only)
 c) Bottom of the lowest horizontal structural member (V Zones only): N/A feet meters (Puerto Rico only)
 d) Attached garage (top of wall): 3.0 feet meters (Puerto Rico only)
 e) Lowest elevation of machinery or equipment servicing the building: 10.0 feet meters (Puerto Rico only)
 f) (Describe type of equipment in Comments) _____ feet meters (Puerto Rico only)
 g) Lowest adjacent finished grade (LAG): 3.3 feet meters (Puerto Rico only)
 h) Highest adjacent finished grade (HAG): 3.8 feet meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name: BERNARD J. NOLAN License Number: 2527
 Title: LAND SURVEYOR Company Name: GEORGE, MILES & BUSH, LLC
 Address: 208 WEST MAIN STREET City: SALISBURY State: MD ZIP Code: 21801
 Signature: _____ Date: 10/22/08 Telephone: 410-742-3116
 Seal: BERNARD JOSEPH NOLAN, JR. Lic. No. 2527 LAND SURVEYOR

FEMA Form 81-31, February 2009 See reverse side for continuation. Replaces all previous editions.

Timeline 2021 Cycle Visit (Continued)

Early 2021 –
Preliminary
Communications
about Cycle Visit



April 2021 – Kickoff
Meeting



Summer 2021 –
Regular Calls,
Sending Information
for Review



September 20, 2021
– Cycle Visit
(Remote), 30 Day
Letter



October 2023 –
Rating Takes Effect



September 2022 –
Closeout, Draft
Letter



BCEGS ISO Review?



Late 2021 – 2022
Holding, other
reviews, etc.

Goal: Stronger Class 6

Category	Base Points
310 – Elevation Certificates	38
320 – Map Information Service	90
330 – Outreach Projects	200
340 – Hazard Disclosure	13
350 – Flood Protection Information	84
➤ 420 – Open Space Preservation	1,242
➤ 430 – Higher Regulatory Standards	406
➤ 440 – Flood Data Maintenance	170
510 – Floodplain Management Planning	181
530 – Flood Protection	32

Total – 2,456

But . . .

County Growth
Adjustment 1.06

109 Additional Points

Revised Total 2,565

Class 5

Largest Increases in Score:

- Coastal A Zone Requirements (430) 237.5
- Growth Factor (400 Series) 109
- Outreach (330) 54
- Elevating Structures(530) 32

Largest Scoring Elements:

- Open Space (OSP) 1,029.5
- Coastal A Zone (CAZ) 237.5
- Outreach (OP) 200
- Natural Functions Open Space 1 (NFOS1) 123.5
- Low Density Zoning (LZ) 78

Lessons Learned:

- Listen to suggestions from your ISO representative
- Think ahead, even if you can't do something in time for current review, you may have time to revisit it prior to next cycle visit
- Don't be afraid to pull in others who have more knowledge/experience when you can
- Look for ways to modify existing practices to maximize points
- If one path doesn't work, attempt to develop an acceptable alternative
- Try to find things that the work you put in will easily serve you in future cycle visits
- Just because something didn't work in one cycle visit doesn't mean it won't for the next one so look at what you missed out on credits from the previous cycle visit.
- CRS Workgroup and your other CRS Communities are an incredible resource, use it!
- Listen to suggestions from your ISO representative!

Questions?

Tom Brockenbrough

GIS Coordinator/Floodplain Administrator

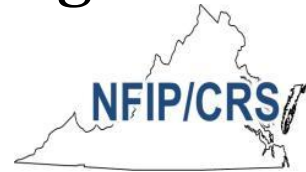
Accomack County

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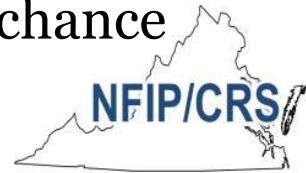
E.O. 14030 - ESTABLISHES FFRMS

- In May 2021, President Biden signed an Executive Order reinstating the Obama Administration's Federal Flood Risk Management Standard (FFRMS)
- The order mandates that projects partially or fully funded by federal agencies must follow the FRRMS requirements set by the relevant agency
- Federal agencies are given the option of three methods by which to implement the FFRMS when building new infrastructure



THREE METHODS FOR ESTABLISHING FFRMS

- **Climate-informed Science Approach (CISA):** Uses the best-available data to produce flood risk maps & flood elevations. Elevation requirements for each project will be based on the CISA maps, the anticipated life of the project, & the project's critical action status.
- **Freeboard Value Approach (FVA):** Investments in “non-critical actions” must be built 2 feet above the BFE and investments in critical actions must be built 3 feet above the BFE, as defined by FEMA FIRMs.
- **0.2% Annual Chance Flood Approach:** Projects must be elevated above the BFE anticipated during a 0.2% annual chance flood event, as defined by the FEMA FIRMs.



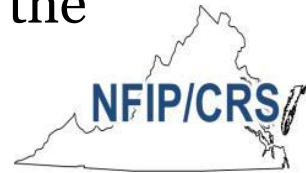
HUD RULE PRIORITIZES CISA OPTION

HUD released a proposed rule that prioritizes CISA as its preferred option for establishing the “FFRMS floodplain”

Where CISA data is not available to determine the FFRMS floodplain:

- Non-critical actions must be elevated at or above the 0.2% annual chance flood event
- Critical actions must be elevated at or above the 0.2% annual chance flood event or 3 feet above the 1% annual chance flood event, whichever is greater

Access to CISA maps is limited at this time, but new mapping is underway and the White House Flood Resilience Interagency Working Group will develop a web-based tool for streamlined access to the CISA maps



OTHER COMPONENTS OF HUD RULE

Minimum Property Standards

- New or substantially improved single-family or one-to-four unit homes seeking to qualify for FHA mortgage insurance programs must be elevated two feet above the BFE

HUD Limiting Assistance in Floodways, Coastal High Hazard Areas, & Wetlands

- Critical actions in floodways, coastal high hazard areas, or LiMWA areas will not be considered for HUD financial assistance
- Non-critical actions in these areas and wetlands will need to complete HUD's 8-step decisionmaking process



HUD'S 8-STEP DECISION-MAKING PROCESS

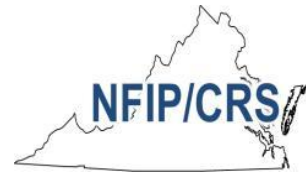
When a non-critical action is proposed to be located in a floodway, coastal high hazard area, or LiMWA area, or **any action** is proposed to be located in a wetland or FFRMS floodplain outside of these areas, it must complete the 8-step decision-making process:

1. Identify if the project site is located in the floodplain or a wetlands
2. Notify the public, agencies, and all other responsible parties for floodplain and/or wetlands protection
3. Identify and evaluate project location alternatives
4. Identify and evaluate proposed project's impacts to the floodplain and/or wetlands
5. Design or modify the project to limit identified impacts
6. HUD will decide to approve, approve with modifications, or reject the project
7. Notify the public of HUD's decision
8. If applicable, implement the project and approved modifications



PUBLIC COMMENTS ON HUD RULE

- Public comments on HUD's proposed rule are due Tuesday, June 6th
- The full proposed rule can be [viewed here](#)
- Comments can be viewed & submitted [here](#)



POLL & DISCUSSION



DCR CRS TRAINING OPPORTUNITY

- DCR multi-day training opportunity, content presented by ISO
- June 28th & 29th, 9 AM - 5 PM
- Piedmont Virginia Community College, Charlottesville VA
- [Register Here](#)



CRTF ROUND 2 FUNDING

- Coastal Resilience & Tree Fund open for 2nd round
- \$90,000 is available for capacity building, shoreline protection, green infrastructure, stewardship, & tree planting projects
- Applications due July 7th
- [Grant program details here](#)



POLL & DISCUSSION

- Has your locality applied for funds through the Stormwater Local Assistance Fund (SLAF)?
- If so, did you experience any barriers in either applying for or managing SLAF funds?



WORKGROUP ATTENDEE REPORT OUT

Time for Workgroup attendees to bring up any news, questions, or future meeting topics to the group



THANK YOU!

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